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"Fast turnaround - Inspection to Report"

Visual Property Inspection Report

Complies with Australian Standard AS 4349.1-2007

Solicitor/Company

Sample Street



Mr & Mrs Purchaser

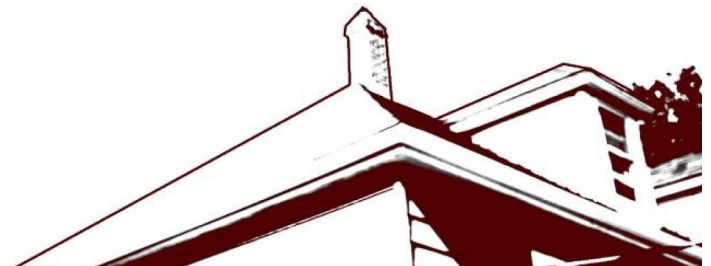
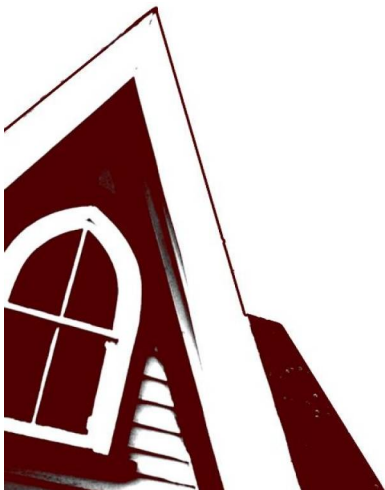
Alpha Building Services Pty Ltd Trading As ***Inspect It >>***

ABN 47 103 963 471

PO Box 2058, NORMANHURST2076

Phone: 1300 557 047 Fax: 1300 70 996

inspector@inspectit.com.au



VISUAL BUILDING INSPECTION REPORT

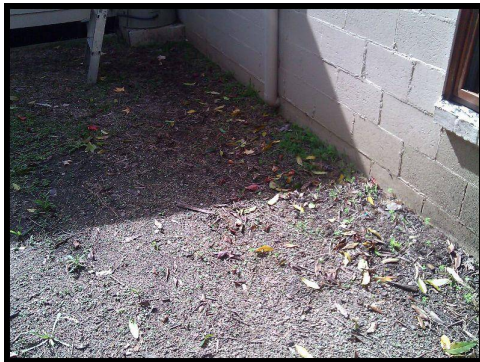
BRIEF SUMMARY:

Items observed that require attention are listed under the appropriate subheadings within the body of this report. For ease of reading, some of these items have also been listed here. This list is in no way to be considered complete or comprehensive. Please note, where prices have been noted, these are opinions only and are not quotes or even firm estimates. Independent quotations for any notable item should be obtained prior to acting on this report.

EXTERNAL AREAS

DRAINAGE

The surface water drainage at the rear of the property appears to be inadequate. Drains should be installed to divert seepage and surface runoff water away from the building to prevent possible structural damage. The drains should be connected to the existing stormwater drainage system.

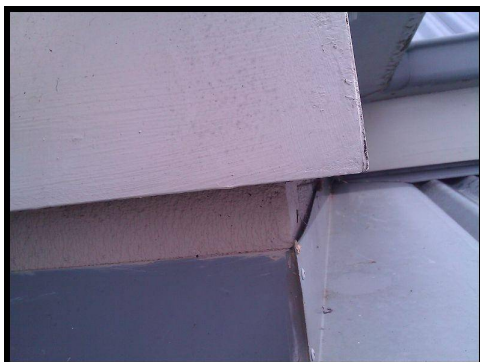


Estimated cost from: \$1500.

ROOF SYSTEM EXTERNAL

EXTERNAL ROOF

Flashing material is of preformed aluminium. Junction of the pitched roof/s and wall. Gable/s. Flashing is not or does not appear to be correctly set into the brickwork. This can allow water penetration and should be rectified. Potential water leak noted. Repair to the flashings should be considered. This area should be monitored and if leaking or damage is evident, referred to roofing experts for their assessment.



Estimated cost from: \$750.

GARAGING

The ground levels are close or covering the damp proof course material and should be lowered to prevent dampness problems. The height of a DPC, or flashing serving as a DPC is recommended be not less than 150 mm above the adjacent ground level, 75 mm above the finished surface level of adjacent paved, concrete or landscaped areas that slope away from the wall or 50 mm above finished paved, concrete or hard landscaped areas. Base of some walls are below the external soil levels are be subject to lateral dampness or water entry. Additional waterproofing will be required or modifications will need to be made to lower moisture levels.



Estimated cost from: \$5000.

Walls to the area are moist and this may be the result of a plumbing leak, rising or lateral dampness. Recommend further invasive investigation be conducted to determine the cause of the moist area.



CONCLUSION

CONCLUSION AND SUMMARY

Therefore the overall condition of the areas inspected in the context of its age, type and general expectations of similar properties is average. There may be areas of the property requiring repair or maintenance. Please refer to report for details.

You must read the entire report and not rely solely on this Summary. The order that the items may appear in this summary is not an indicator of their importance.

RESTRICTIONS OR LIMITATIONS TO THE INSPECTION:

GARAGING

INSPECTION LIMITATIONS

Stored items restricted inspection to the interior. These goods must be removed to enable a more complete report to be submitted. The structure is partially lined preventing inspection to some framing timbers.



OUTBUILDINGS

INSPECTION LIMITATIONS

Stored items restricted inspection to the interior. These goods must be removed to enable a more complete report to be submitted.

INTERNAL AREAS

INSPECTION LIMITATIONS:

Both floorcoverings and furnishings were present and restricted inspection within this area. Inspection was limited in the following locations and or areas: All internal areas.

SUB FLOOR AND FOOTINGS

CAVITY PRESENT/NOT ACCESSIBLE:

Some areas of the building is a concrete slab on ground construction and to there areas there is no accessible void for inspection. Full inspection was limited by the presence of ducting associated with air-conditioning or heating. We recommend a more complete inspection of this area and removal of ducting will be necessary. Plumbing prevented full body access being gained. Inspection was restricted in or below the following locations and or areas: Various areas.

ROOF SYSTEM INTERNAL
INSPECTION LIMITATIONS:

Sarking membrane covered tile battens restricting inspection. Lining material has been placed over some ceiling timbers for storage purposes which prevented inspection of those covered timbers. Stored goods restricted inspection within this area. Inspection was restricted above the following locations and or areas: Bathroom. Garage.

ACCESS LIMITATIONS:

A section of the roof is of cathedral type construction where the ceilings follow the roof contour and no cavity is present for inspection. A section of the roof is of skillion type construction and there is no accessible cavity for inspection. Inspection over the eaves and low areas to the perimeter of the building was restricted due to the low pitch and method of construction allowing only a limited visual inspection from a distance. Items such as top plates and ceiling and roof framing in these areas was not able to be fully inspected. Inspection was restricted above the following locations and or areas: Bathroom two. Toilet. Laundry. Kitchen. Main bedroom. Bedroom two. Bedroom three. Lounge room. Dining room. Family room. Study. Hallway.

CONTACT THE INSPECTOR:

Please feel free to contact the inspector who carried out this inspection. Often it is difficult to fully explain situations, problems, access difficulties, building faults or there importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you prior to acting on this report.

The inspection and report was carried out by:



Craig Richards
Accreditation number: 5274

Contact Details:
Phone: 0448 131 463

On Behalf of:
Alpha Building Services Pty Ltd
ABN 47 103 963 471

PROPERTY REPORT DETAILS

DETAILS OF THE INSPECTION

Commissioned By: Solicitor/Company.
Your Client: Mr & Mrs Purchaser.
Property Address: Sample Street.
Date Of Inspection: 26/04/2012.
Note: *If this report is associated with a contract for sale then you should not be relied upon the findings if the contract becomes binding more than 30 days after the date of initial inspection. A re-inspection after this time is essential.*
Inspector: Craig Richards
Accreditation number: 5274

Contact Details:
Phone: 0448 131 463

On Behalf of:
Alpha Building Services Pty Ltd
ABN 47 103 963 471.
Persons At Inspection: Real Estate Agent or Representative. Vendor or Representative. Purchaser or Representative.

DESCRIPTION OF STRUCTURE(S) INSPECTED:

Building Type: Single storey freestanding split level dwelling.

DETAILS OF THE INSPECTION AGREEMENT:

Agreement Details: Sample Reference No.
Special Conditions: There are NO Special Requirements / Conditions requested by the Client/Clients Representative regarding this Inspection and Report:
Agreement Changes: There are NO changes to the Inspection Agreement:

WEATHER & ORIENTATION:

Weather Condition: The weather condition on the day of the inspection was generally fine.
Orientation For the purpose of identification East is assumed to be approximately at the main street frontage of the property.

PROPERTY DESCRIPTION

BUILDING REPORT

Report Type: Visual Pre Purchase Inspection.

The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection. The inspection and reporting is limited to Appendix C AS4349.1-2007.

The report generally does not include an estimate of the cost for rectification of the Defects. If costs are provided they are an estimate only and have been supplied in addition to that of our standard reporting. The overall condition of the building has been compared to similarly constructed & reasonably maintained buildings of approximately the same age.

INSPECTED PROPERTY DESCRIPTION

External Wall Construction: Full or double brick. Timber frame with weatherboard cladding. Concrete blocks. Aerated concrete.

Roof Construction: The roof is of pitched and skillion style construction.

Roof Is Covered With: Corrugated steel.

Footings: The building is constructed on the following footing type/s: Concrete pier. Concrete slab.

Estimate Building Age: The building appears to be less than ten (10) years old and may be subject to requirement under the Building Act. The purchaser should check with the local council to ensure that the builder was licensed and has obtained all statutory insurances and that the council has approved and inspected the construction of the building. The building appears to have had an extension/addition. The purchaser should contact the local council to ensure that the extension/addition has been approved and inspected as required.

EXTERNAL AREAS

Defects and or damage requiring rectification may not be apparent to the inspector due to this restriction. Recommend access be gained.

DRIVEWAY

Type & Condition: The concrete driveway stands in fair condition.

FENCES & GATES

Type & Condition: The fences are mainly constructed from timber and metal. Evidence of what appears to be timber pest attack was noted. We strongly recommend an inspection by a qualified pest inspector be commissioned. The fences are leaning and repairs will be required. Fence gate/s require repair or replacement.

Location: Eastern side. Western side.

RETAINING WALLS

Type & Condition: The masonry retaining walls show deterioration, cracks etc, and should be monitored for additional movement.

PATHS/PAVED AREAS

Type & Condition: The paths/paved areas are in fair condition.

DRAINAGE

Surface Water: The surface water drainage at the rear of the property appears to be inadequate. Drains should be installed to divert seepage and surface runoff water away from the building to prevent possible structural damage. The drains should be connected to the existing stormwater drainage system.



Estimated cost from: \$1500.

The general adequacy of site drainage is not included in the Visual Building Inspection Report. Comments on surface water drainage are limited as where there has been either little or no rainfall for a period of time, surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate. Any comments made in this section are relevant only in light of the conditions present at the time of inspection. It is recommended that a Smoke Test be obtained to determine any illegal connections, blocked or broken drains.

EXTERNAL WALLS

Wall Condition:

Mortar joints between brickwork are deteriorating and require re pointing in areas. Shrinkage cracks are evident to rendered wall areas. This cracking generally occurs during the curing process of construction. Cracking of this type is an appearance defect and is not considered to be of a structural nature. Some repairs may be required prior to next painting to provide a suitable finish. Expansion joints to the brickwork are showing movement and require maintenance.

**Position/Location:**

Northern elevation. Eastern elevation. Southern elevation.

DAMP COURSE**Type & Condition:**

A polythene damp proof coursing material is visible in the external walls and it should continue to be effective unless damaged or bridged.

LINTELS:**Type & Condition:**

Lintel type/s noted: Mild steel: The condition of the lintels is generally fair.

WINDOWS:**Condition:**

Storm moulds are not present and need to be fitted to ensure water does not penetrate wall cavity. Rectification is required. Minor maintenance and or repairs are required prior to next repainting.

**DOORS:****Condition:**

The door binds and adjustments are required to ensure correct operation.

STAIRS:**Stairs Condition:**

The stairs are constructed primarily from timber. The overall condition of the stairs are fair.

DECK**Position/Location:**

Northeastern elevation:

Construction & Condition:

Constructed from timber. The general condition of this structure is fair.

DECK TWO

Position/Location:	Eastern elevation.
Construction & Condition:	Constructed from timber.
Defects Or Maintenance Items:	The area has a drop greater than 1 metre from the floor and a balustrade should be installed to comply with Standards. There is no step down between external and internal floors. This situation will allow wind driven rain to penetrate from the exterior of the building. Lack of suitable stepdown may be considered a latent defect. Timber flooring is loose and requires re fixing.



ROOF SYSTEM EXTERNAL

The following is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. The only way to determine whether a roof is absolutely water tight is to make observations during prolonged rainfall. If any sections of the roof were inaccessible due to the method of construction or other factor, further investigations should be carried out prior to purchase.

EXTERNAL ROOF

Roof Style:	The roof is of pitched and skillion construction.
Roof Access Limitations:	The roofing materials were viewed from a distance only. It should be noted that when roofing cannot be inspected in detail, other associated aspects of the roofing are also often not inspected in detail. These may include items such as gutters, eaves, flashings, chimneys and other items that would require a detailed and close inspection of the roof surface.
Position/Location:	Northern elevation.
Roof Covering Condition Detail:	The overall condition of the roof coverings is fair.
Roof Flashing - Type And Condition:	Flashing material is of preformed aluminium. Junction of the pitched roof/s and wall. Gable/s. Flashing is not or does not appear to be correctly set into the brickwork. This can allow water penetration and should be rectified. Potential water leak noted. Repair to the flashings should be considered. This area should be monitored and if leaking or damage is evident, referred to roofing experts for their assessment.



Estimated cost from: \$750.

VALLEYS

Condition: The overall condition of the valley metal is fair.

GUTTERS AND DOWNPIPES:

Gutter & Downpipes

Condition:

Leaves and debris are present in gutters and the guttering should be cleared. Downpipes appear to be connected to the stormwater dispersal system, however, correct connection can only be confirmed with a smoke test. Leaf guards are present to guttering and or valleys restricting inspection of these areas. Defects may be present and not detected. The design and position of the guttering is such that during wet conditions it appears that the gutter may back flow into the eave or building. Recommend the area be evaluated during wet conditions. Some modifications may be required. The roof area has a boxed gutter installed that is located above an internal section of the building. These type of gutters require regular maintenance to keep clear and prevent overflow. Any leaking, from overflow, poor joints or damage, will allow water to enter the building. Recommend this area be closely monitored for water entry.



EAVES, FASCIAS & BARGE BOARDS:

Eaves Type & Condition:

The eaves appear to be lined with fibre cement sheeting. The overall condition of the eaves lining is fair. Parts of this building does not have an eave overhang and as such may be subject to water entry if the guttering backflows during wet conditions. Recommend this area be closely monitored.



Fascias & Bargeboards

Condition:

The overall condition of the fascias/bargeboards is fair.

SKILLION ROOF

Roof Access Limitations:

The roofing materials were viewed from a distance only. It should be noted that when roofing cannot be inspected in detail, other associated aspects of the roofing are also often not inspected in detail. These may include items such as gutters, eaves, flashings, chimneys and other items that would require a detailed and close inspection of the roof surface.

Roof Covering Condition

Detail:

The overall condition of the roof coverings is fair.

CHIMNEYS/FLUE

Condition:

Fire boxes/places and chimneys need to be burning fuel to test if the units work correctly. This test is outside the scope of this inspection and a recommendation is that you have these units tested before you purchase.

GARAGING

INSPECTION LIMITATIONS

Restrictions: Stored items restricted inspection to the interior. These goods must be removed to enable a more complete report to be submitted. The structure is partially lined preventing inspection to some framing timbers.



Defects and or damage requiring rectification may not be apparent to the inspector due to this restriction. Recommend access be gained.

GARAGING

Accommodation Type: Garage.

Location: Under the main building.

External Wall Or Support Construction: Double brick.

Wall Condition: The ground levels are close or covering the damp proof course material and should be lowered to prevent dampness problems. The height of a DPC, or flashing serving as a DPC is recommended be not less than 150 mm above the adjacent ground level, 75 mm above the finished surface level of adjacent paved, concrete or landscaped areas that slope away from the wall or 50 mm above finished paved, concrete or hard landscaped areas. Base of some walls are below the external soil levels are be subject to lateral dampness or water entry. Additional waterproofing will be required or modifications will need to be made to lower moisture levels.



Position/Location: Eastern elevation. Southern elevation. Western elevation.

Estimated cost from: \$5000.

Lintels - Type & Condition: Lintel type/s noted: Mild steel. The condition of the lintels is generally fair.

Front Doors - Type & Condition: The main garage door is a roller shutter style door and is in fair condition.

Floor - Type & Condition: The concrete floor is generally in fair condition.

Ceiling Condition: There is no ceiling lining present.

Internal Walls Condition: Walls to the area are moist and this may be the result of a plumbing leak, rising or lateral dampness. Recommend further invasive investigation be conducted to determine the cause of the moist area.



OUTBUILDINGS

INSPECTION LIMITATIONS

Restrictions: Stored items restricted inspection to the interior. These goods must be removed to enable a more complete report to be submitted.

Defects and or damage requiring rectification may not be apparent to the inspector due to this restriction. Recommend access be gained.

OUTBUILDING

Type Of Outbuilding: Metal garden shed.

Position/Location: Northern elevation.

General Condition: The structure is generally in fair condition.

INTERNAL AREAS

INSPECTION LIMITATIONS:

Restrictions: Both floorcoverings and furnishings were present and restricted inspection within this area. Inspection was limited in the following locations and or areas: All internal areas.

Defects and or damage requiring rectification may not be apparent to the inspector due to this restriction. Recommend access be gained.

CEILINGS

Ceiling Condition: Minor settlement cracks were noted and these are typical of this type of material. Periodic maintenance may be required. Cracking is present to cornices and these areas will require maintenance and or repair. There was evidence of water penetration through the ceiling and this area will require repair. See notes in roofing section.

Location/Area: Lounge room. Dining room. Entry/Foyer.

WALLS

Internal Walls Condition: Peeling paint was noted to some wall surfaces. Settlement cracks are evident to wall areas. Maintenance and repairs are required prior to next repainting. Shrinkage cracks are evident to rendered wall areas. This cracking generally occurs during the curing process of construction. Cracking of this type is an appearance defect and is not considered to be of a structural nature. Some repairs may be required prior to next painting to provide a suitable finish.

Location/Area: Study. Entry/Foyer. Hallway.

WINDOWS

Windows Condition: Maintenance and adjustments are required to some windows to ensure smooth operation.

Location/Area: Isolated areas throughout.

DOORS

Doors Condition: The door binds and adjustments are required to ensure correct operation. Some striker plates require adjustment to secure the doors when closed. The door handle and latch requires adjusting and or repair. A floor guide to the bottom of the sliding door is required to enable the door to operate correctly.

Location/Area: Bathroom. Toilet. Bedroom two. Study. Pantry.

FLOORS

Floors Condition: Floorboards are cupping. This is a moisture related problem and should be investigated and rectified prior to repair of the flooring.

Location/Area: Kitchen.

STAIRS INTERNAL

Stairs Condition: The stairs are constructed primarily from timber. The handrails and balustrades do not comply with Standards for height and or spacing. Recommend they be updated. Rise and going (height & depth) of treads is hazardous and does not comply with current Standards. Recommend these areas be modified.



WOODWORK

Woodwork: The condition of the woodwork is generally fair.

WET AREAS

Important Notes: In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

KITCHEN

Kitchen Fixtures: The condition of the fixtures is generally fair.

Tiles: The condition of the tiles is generally fair.

Sink & Taps: Sink and taps appear in serviceable condition. Drain appears serviceable.

Important Notes: Shower areas (where present) are visually checked for leakage, but leaks often do not show except when the shower is in actual long term use. It is very important to maintain adequate sealing in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Adequate and proper ongoing maintenance will be required in the future.

In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

BATHROOM

Shower/Bath Condition: The shower is located over the bathtub. The area will need to be kept well sealed to prevent water penetration to surrounding areas.

Tiles: Some drummy, loose tiles were noted and these areas will require repair and or replacement.

Basin & Taps: The basin & taps appear serviceable. Drain appears serviceable.

Vanity Unit: The condition of the vanity unit is generally fair.

Toilet Condition: The toilet appears to be in working order.

Floor/Floor Waste: The floor waste point was not able to be tested during this visual inspection. Defects or blockage may be present and not detected.

BATHROOM TWO

Shower/Bath Condition: The shower recess was tested and there was no visible water penetration to surrounding areas. **IMPORTANT NOTE:** This test may not reveal water leaks until the shower is put into constant use and surrounding areas monitored over a period of time. The bath appears to be in fair condition. The area will need to be kept well sealed to prevent water penetration to surrounding areas.

Tiles: The condition of the tiles is generally fair.

Basin & Taps: The basin & taps appear serviceable. Drain appears serviceable.

Vanity Unit: The condition of the vanity unit is generally fair.

Floor/Floor Waste: The floor waste point was not able to be tested during this visual inspection. Defects or blockage may be present and not detected.

ENSUITE

Shower/Bath Condition: The shower recess was tested and there was no visible water penetration to surrounding areas. **IMPORTANT NOTE:** This test may not reveal water leaks until the shower is put into constant use and surrounding areas monitored over a period of time. Consider the installation of a fixed shower screen.

Tiles: The condition of the tiles is generally fair.

Basin & Taps: The basin & taps appear serviceable. Drain appears serviceable.

Vanity Unit: The condition of the vanity unit is generally fair.

Toilet Condition: The toilet appears to be in working order.

Floor/Floor Waste: The floor waste point was not able to be tested during this visual inspection. Defects or blockage may be present and not detected.

Important Notes: In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

LAUNDRY

Tub & Taps: The tub and taps appear serviceable. Drain appears serviceable.

Floor/Floor Waste: The floor waste point was not able to be tested during this visual inspection. Defects or blockage may be present and not detected.

Tiles: The condition of the tiles is generally fair.

Important Notes: In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

TOILET ONE

Toilet Condition: The toilet appears to be in working order.
Basin & Taps: The basin & taps appear serviceable. Drain appears serviceable.
Vanity Unit: The condition of the vanity unit is generally fair.
Tiles: The condition of the tiles is generally fair.
Floor/Floor Waste: The floor waste point was not able to be tested during this visual inspection. Defects or blockage may be present and not detected.

SUB FLOOR AND FOOTINGS

CAVITY PRESENT/NOT ACCESSIBLE:

Restrictions: Some areas of the building is a concrete slab on ground construction and to there areas there is no accessible void for inspection. Full inspection was limited by the presence of ducting associated with air-conditioning or heating. We recommend a more complete inspection of this area and removal of ducting will be necessary. Plumbing prevented full body access being gained. Inspection was restricted in or below the following locations and or areas: Various areas.

Damage and or defects may be present and not detected in areas where inspection was limited, obstructed or access was not gained. We STRONGLY recommend that access be gained to all inaccessible areas.

VENTILATION

Description: Subfloor ventilation appeared to be adequate at the time of inspection.

SUB FLOOR - OTHER DEFECTS OR ISSUES

Details: The underfloor soil is damp. This may be due to a drainage problem or some other factor. This area should be monitored to determine a cause for the dampness and the problem rectified.

FOOTINGS

Type & Condition: The building is constructed on a combination of strip footings, piers and concrete slab. The footings appear to be generally sound.

ROOF SYSTEM INTERNAL

INSPECTION LIMITATIONS:

Restrictions: Sarking membrane covered tile battens restricting inspection. Lining material has been placed over some ceiling timbers for storage purposes which prevented inspection of those covered timbers. Stored goods restricted inspection within this area. Inspection was restricted above the following locations and or areas: Bathroom. Garage.



ACCESS LIMITATIONS:

Restrictions: A section of the roof is of cathedral type construction where the ceilings follow the roof contour and no cavity is present for inspection. A section of the roof is of skillion type construction and there is no accessible cavity for inspection. Inspection over the eaves and low areas to the perimeter of the building was restricted due to the low pitch and method of construction allowing only a limited visual inspection from a distance. Items such as top plates and ceiling and roof framing in these

areas was not able to be fully inspected. Inspection was restricted above the following locations and or areas: Bathroom two. Toilet. Laundry. Kitchen. Main bedroom. Bedroom two. Bedroom three. Lounge room. Dining room. Family room. Study. Hallway.

A comment is not made where access was unable to be gained. Damage and or defects may be present and not detected in areas where inspection was limited, obstructed or access was not gained. Recommend access be gained to allow a full inspection of inaccessible areas.

ROOF FRAMING AND STRUCTURE

Roof Supports - Type And Condition:

Roof trusses have been damaged and do not appear to be structurally adequate. A roof truss is a structural element of the roof frame and if altered or damaged can have adversely affecting the roof structurally. Repair or replacement of the roof truss will be required. A structural engineer should be engaged to provide an opinion as to the structural adequacy of the roof support system and repairs.



UTILITIES

Important Notes: In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

SERVICES

Details:

Water tank/s present, however, has not been evaluated and should be inspected by a qualified plumber.
Smoke detectors are fitted, however, the positioning, operation or adequacy was not tested and is not commented on. An earth leakage circuit breaker (safety switch) appears to be installed to the electrical switch board. Positioning, operation or adequacy was not tested. The evaluation of air-conditioning is not part of a standard pre purchaser building inspection report and is the subject of a special purpose report. We recommend this be carried out by a specialist in air-conditioning installation, maintenance and control.

WATER LINES & PRESSURE

Details:

The visible water lines are in copper pipe. Water pressure appears to be normal, however, this is not an opinion of a licensed plumber.

HOT WATER SERVICE

Type/Condition:

Mains electric hot water system: Mains pressure: Located externally: The hot water system appears to be in working condition. No specific tests other than running the hot water tap were carried out. No determination has been made as to the suitability or adequacy of the hot water system in relation to capacity or otherwise. Hot water overflow pipe should be diverted away from the external walls. Damp soil around the building may cause swelling and lead to heaving of structure and cracking to walls. Moisture also encourages termites into the area. We strongly recommend the overflow relief valve be connected to a drainage point.



Age Of Unit: The unit was manufactured in 2002.

Important Note: It would be prudent to have all services (visible and non-visible) including electrical wiring, plumbing and drainage etc checked by appropriately qualified contractors.

CONCLUSION

The Scope of the Inspection was to cover: The Building and the property within 30m of the building subject to inspection.

Damage and or defects may be present and not detected in areas where inspection was limited, obstructed or access was not gained.

Note: Within the areas inspected some further restrictions may have been present restricting or preventing our inspection. If any recommendation has been made within this report to gain access to areas, gain further access to areas, or any area has been noted as being at "High Risk" due to limited access then further access must be gained. We strongly recommend that such access be gained to enable a more complete report to be submitted. Access should be made available to all areas of the property by the selling agent at the time of inspection otherwise a surcharge to re inspect inaccessible areas will be issued. **Further Inspection of these areas with access issues is Essential once access has been obtained and Prior to a Decision to Purchase.**

OTHER INSPECTIONS AND REPORT REQUIREMENTS

Recommended Inspections And Reports; Roof Plumbing Inspection. Appliance Inspection. Air-conditioning Equipment Inspection. Timber Pest Inspection. Plumbing Inspection. Drainage Inspection and Smoke Test. Electrical Inspection. Council Plan Inspection.

It is Strongly Recommended that the above Inspections and Reports be obtained prior to any decision relating to this Property and/or before settlement. Obtaining these reports will better equip the reader to make an informed decision.

CONCLUSION AND SUMMARY

Major Defects In This Building:	The incidence of Major Defects in the areas inspected in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained is considered. There will be areas or items requiring some repairs or maintenance. Typical:- The frequency and/or magnitude of defects are consistent with the inspectors expectations when compared to similar buildings of approximately the same age which have been reasonably well maintained.
Minor Defects In This Building:	The incidence of Minor Defects in the areas inspected in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained is considered. There will be areas or items requiring some repairs or maintenance. Typical:- The frequency and/or magnitude of defects are consistent with the inspectors expectations when compared to similar buildings of approximately the same age which have been reasonably well maintained.
Overall Condition:	Therefore the overall condition of the areas inspected in the context of its age, type and general expectations of similar properties is average. There may be areas of the property requiring repair or maintenance. Please refer to report for details.

Please Note: This is a general appraisal only and cannot be relied on its own - read the report in its entirety.

The purpose of this inspection is to provide advice to the Client regarding the condition of the property at the time of the inspection. This inspection is a visual assessment of the property to identify major defects and to form an opinion regarding the condition of the property at the time of the inspection.

This Summary is supplied to allow a quick and superficial overview of the inspection results. This Summary is NOT the Report and cannot be relied upon on its own. This Summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in the Report and anything in this Summary, the information in the Report shall override that in this Summary.

TYPES OF DEFECTS:

The Definitions below apply to the TYPES OF DEFECTS associated with individual items/parts or Inspection areas.

Damage - The building material or item has deteriorated or is not fit for its designed purpose.

Distortion, Warping, Twisting - The Item has moved out of shape or moved from its position.

Water Penetration, Dampness - Moisture has gained access to unplanned and/or unacceptable areas.

Material Deterioration - The item is subject to one or more of the following defects; rusting, rotting, corrosion, decay.

Operational - The item or part does not function as expected.

Installation - The installation of an item is unacceptable, has failed or is absent.

RATINGS:

The Definitions (High), (Typical) and (Low) relate to the inspectors opinion of the Overall Condition of the Building:

HIGH (Poor, Below Average) - The frequency and/or magnitude of defects are beyond the inspectors expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

TYPICAL (Fair, Average) - The frequency and/or magnitude of defects are consistent with the inspectors expectations when compared to similar buildings of approximately the same age which have been reasonably well maintained.

LOW (Acceptable, Above Average) - The frequency and/or magnitude of defects are lower than the inspectors expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

The Definitions (Above Average), (Average) and (Below Average) relate to the inspectors opinion of the Overall Condition of the Building in the context of its age, type and general expectations of similar properties:

ABOVE AVERAGE - The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a high standard of workmanship when compared with building of similar age and construction.

AVERAGE - The overall condition is consistent with dwellings of approximately the same age and construction. There may be areas/members requiring minor repair or maintenance.

BELOW AVERAGE - The Building and its parts show some significant defects and/or very poor non- tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

DEFINITIONS:

Accessible Area - An area on the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.

Appearance Defect - Where in the inspectors opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Building element - Portion of a building that, by itself or in combination with other such parts, fulfills a characteristic function.

Major Defect - A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

Minor Defect - A defect other than a major defect.

Safety Hazard - Any observed item that may constitute a present or imminent serious safety hazard.

Serviceability Defect - Where in the inspectors opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Site - Allotment of land on which a building stands or is to be erected.

Structural Defect - Where in the inspectors opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Note: Also Refer to "Important Advice" section for explanation/advice concerning some terms and or defects that may be contained in this Report.

Note: In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected. The exterior above ground floor level is not inspected. The complete inspection of other common property areas would be the subject of a Special-Purpose Inspection Report which is adequately specified.

Trees: Where trees are too close to the house this could affect the performance of the footing as the moisture levels change in the ground. A Geotechnical Inspection can determine the foundation material and provide advice on the best course of action with regards to the trees.

The septic tanks: Should be inspected by a licensed plumber.

Swimming Pools: Swimming Pools/Spas are not part of the Standard Building Report under AS4349.1-2007 and are not covered by this Report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in finds for non compliance under the legislation.

Surface Water Drainage: The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water and stormwater run off and have the water directed away from the house or to storm water pipes by a licensed plumber/drainier.

Important Information Regarding the Scope and Limitations of the Inspection and this Report

Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the Scope and Limitations of the inspection, form an integral part of the report.

1. REPORT CONTENTS:

This report is not an all encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the inspection. Whether or not, a defect is considered significant or not depends too a large extent, upon the age and type of the building inspected. This report is not a Certificate of Compliance with the requirements of any Act, Regulation, Ordinance or By-law. It is not a structural report. Should you require any advice of a structural nature you should contact a structural engineer.

2. VISUAL INSPECTION ONLY:

This is a visual inspection only limited to those areas and sections of the property fully accessible and visible to the Inspector on the date of Inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector CANNOT see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. Visible timbers CANNOT be destructively probed or hit without the written permission of the property owner.

3. COMMENTS IN THIS REPORT:

This report does not and cannot make comment upon; defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (*eg. In the case of shower enclosures the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not leak*); the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant. Accordingly this Report is not a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. **(NB: Such matters may upon request be covered under the terms of a Special-purpose Property Report.)**

4. CONSUMER COMPLAINTS PROCEDURE:

In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, You must notify Us as soon as possible of the dispute or claim by email, fax or mail. You must allow Us (which includes persons nominated by Us) to visit the property (which visit must occur within twenty eight (28) days of your notification to Us) and give Us full access in order that We may fully investigate the complaint. You will be provided with a written response to your dispute or claim within twenty eight (28) days of the date of the inspection.

If You are not satisfied with our response You must within twenty one (21) days of Your receipt of Our written response refer the matter to a Mediator nominated by Us from the Institute of Arbitrators and Mediators of Australia. The cost of the Mediator will be borne equally by both parties or as agreed as part of the mediated settlement. Should the dispute or claim not be resolved by mediation then the dispute or claim will proceed to arbitration. The Institute of Arbitrators and Mediators of Australia will appoint an Arbitrator who will hear and resolve the dispute. The arbitration, subject to any directions of Arbitrator, will proceed in the following manner:

- (a) The parties must submit all written submissions and evidence to the Arbitrator within twenty one (21) days of the appointment of the Arbitrator; and
- (b) The arbitration will be held within twenty one (21) days of the Arbitrator receiving the written submissions.

The Arbitrator will make a decision determining the dispute or claim within twenty one (21) of the final day of the arbitration. The Arbitrator may, as part of his determination, determine what costs, if any, each of the parties are to pay and the time by which the parties must be paid any settlement or costs. The decision of the Arbitrator is final and binding on both parties. Should the Arbitrator order either party to pay any settlement amount or costs to the other party but not specify a time for payment then such payment shall be made within twenty one (21) days of the order. In the event You do not comply with the above Complaints Procedure and commence litigation against Us then You agree to fully indemnify Us against any awards, costs, legal fees and expenses incurred by Us in having your litigation set aside or adjourned to permit the foregoing Complaints Procedure to complete.

5. ASBESTOS DISCLAIMER:

"No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided. If during the course of the Inspection asbestos or materials containing asbestos happened to be noticed then this may be noted in the **Additional Comments** section of the report. Buildings built prior to 1982 may have wall and/or ceiling sheeting and other products including roof sheeting that contains Asbestos. Even buildings built after this date up until the early 90s may contain some Asbestos. Sheeting should be fully sealed. If concerned or if the building was built prior to 1990 or if asbestos is noted as present within the property then you should seek advice from a qualified asbestos removal expert as to the amount and importance of the asbestos present and the cost of sealing or removal. Drilling, cutting or removing sheeting or products containing Asbestos is a high risk to peoples health. You should seek advice from a qualified asbestos removal expert."

6. MOULD (Mildew and Non-Wood Decay Fungi) DISCLAIMER:

Mildew and non wood decay fungi is commonly known as Mould. However, Mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. **No inspection for Mould was carried out at the property and no report on the presence or absence of Mould is provided.** If in the course of the Inspection, Mould happened to be noticed it may be noted in the **Additional Comments** section of the report. If Mould is noted as present within the property or if you notice Mould and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your local Council, State or Commonwealth Government Health Department or a qualified expert such as an Industry Hygienist.

7. MAGNESITE FLOORING DISCLAIMER:

No inspection for magnesite flooring was carried out at the property and no report on the presence or absence of magnesite flooring is provided. You should ask the owner whether Magnesite Flooring is present and/or seek advice from a Structural Engineer.

8. ESTIMATING DISCLAIMER:

Any estimates provided in this report are merely opinions of possible costs that could be encountered, based on the knowledge and experience of the inspector, and are not estimates in the sense of being a calculation of the likely costs to be incurred. The estimates are NOT a guarantee or quotation for work to be carried out. The actual cost is ultimately dependent upon the materials used, standard of work carried out, and what a contractor is prepared to do the work for. It is recommended in ALL instances that multiple independent quotes are sourced prior to any work being carried out. The inspector accepts no liability for any estimates provided throughout this report.

DISCLAIMER OF LIABILITY:

No Liability shall be accepted on an account of failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report).

DISCLAIMER OF LIABILITY TO THIRD PARTIES:

Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this report. Any third party acting or relying on this Report, in whole or in part, does so entirely at their own risk. However, if ordered by a Real Estate Agent or a Vendor for the purpose of auctioning a property then the Inspection Report may be ordered up to seven (7) days prior to the auction, copies may be given out prior to the auction and the Report will have a life of 14 days during which time it may be transferred to the purchaser. Providing the purchaser agrees to the terms of this agreement then they may rely on the report subject to the terms and conditions of this agreement and the Report itself.